



SECTION 11.0 TECHNICAL SITE PLAN

Section 11.01 Purpose

This section describes the process for approval of a [technical site plan](#). This type of application is to ensure that site development, including mixed-use development on a single site, takes place in an orderly and efficient manner through a process that provides adequate review based on the size and complexity of the proposed development. The level of detail on the plans shall be that of construction plans and technical specifications. The review is based on not only conformance to Code, but also conformance with an approved master plan, if applicable.

Section 11.02 Applicability and Approval Authority

The [technical site plan](#) review process is for all projects that include residential, nonresidential, and mixed use development. The level of authority for approval is divided into 3 tiers, described as minor, moderate, and major, and described as follows:

A. Minor: Tier 1 – Planning Manager

Nonresidential projects up to 40,000 square feet of building and/or residential projects not to exceed 40 residential units.

B. Moderate: Tier 2 – Planning and Land Development Regulation Board

Nonresidential projects over 40,000 square feet of building up to 100,000 square feet of building and/or residential projects over 41 residential units not to exceed 100 units.

C. Major: Tier 3 – City Council

Nonresidential projects over 100,000 square feet of building and/or residential projects over 100 residential units.

For projects that have received a [Master Site Plan](#) Development Order for Tier 2 and Tier 3 type projects shall not be required to reappear before the level of authority for that type of project. City Staff shall review the application and, upon compliance of all regulations, the Planning Manager shall have the authority to grant the issuance of a [Technical Site Plan](#) Development Order.

Section 11.03 Neighborhood Meeting

Prior to the submission of an application for a [technical site plan](#), it is the responsibility of the Applicant to hold a neighborhood meeting for the below listed project types.

A. Single-family and multifamily residential developments of forty (40) units or more, unless waived by the Planning Manager.

B. Other projects as deemed necessary by the Planning Manager on a case-by-case basis based upon potential impacts to the City or abutting or proximate property owners.

The Planning Manager may waive the requirement for a neighborhood meeting if the project is part of a multiphase project for which meetings were previously held. For consideration of a waiver, contact the Planning Division at 386-986-3736 for a determination. Refer to [subsection 2.05.02](#) of the [Unified Land Development Code \(LDC\)](#).



Section 11.04 Application Process

A. Tier 1

1. The Applicant shall submit a complete [application package](#) electronically to the City via the on-line portal. A meeting with City Staff is recommended for submittal of the application package.
2. Per [subsection 2.05.04](#) of the [LDC](#), the application package will undergo a completeness review by the City.
3. Upon acceptance, the application package shall be reviewed for compliance.
4. The City shall issue a Technical Site Plan Development Order upon satisfying compliance review. The Planning Manager is the level of approval to authorize the issuance of a minor [Technical Site Plan](#) Development Order. The issuance of the development order does not authorize the disturbance of any part of the subject property involved, but authorizes the filing of an application for a building permit.

B. Tier 2

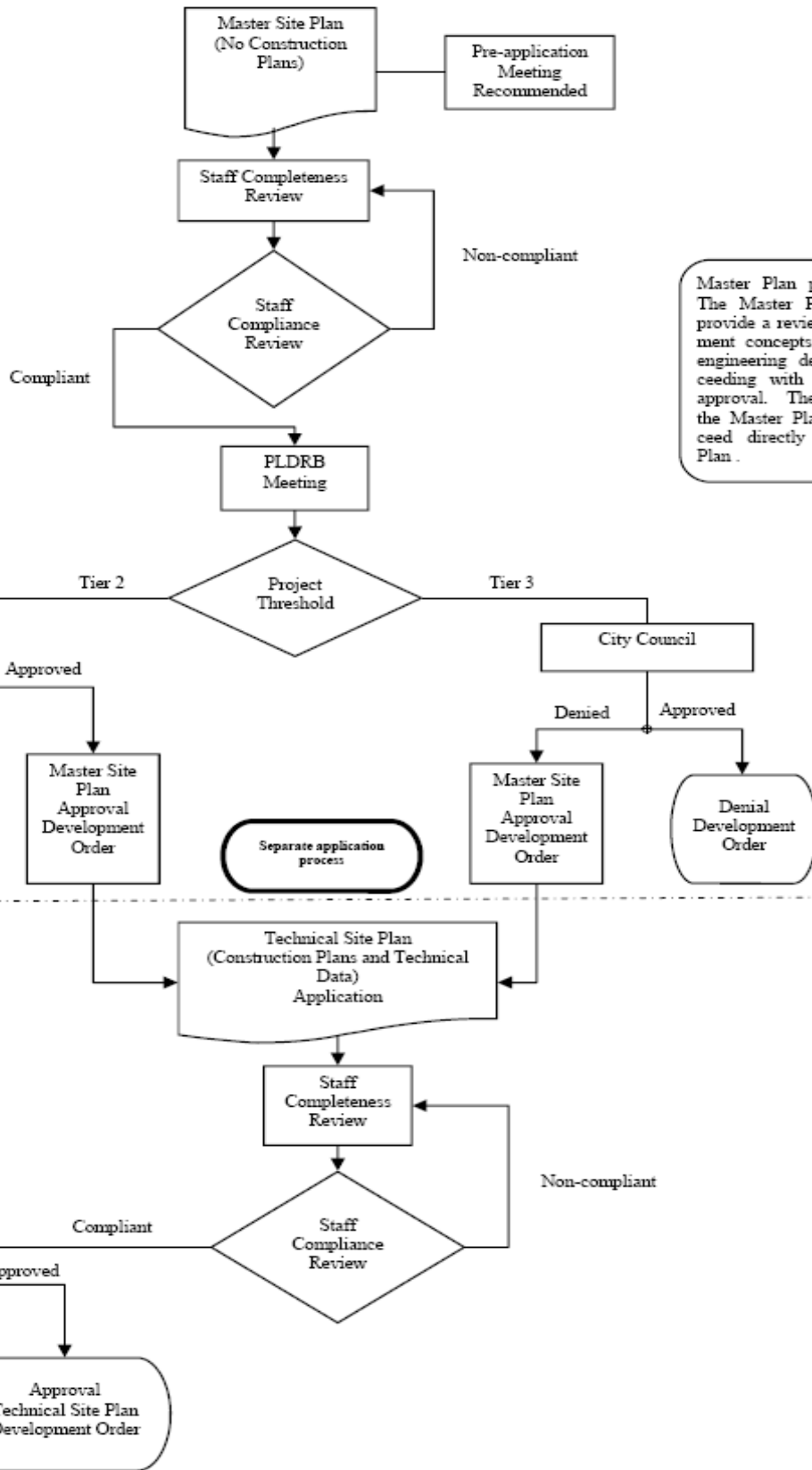
1. The Applicant shall submit a complete [application package](#) electronically to the City via the on-line portal. A meeting with City Staff is recommended for submittal of the application package.
2. Per [subsection 2.05.04](#) of the [LDC](#), the application package will undergo a completeness review by the City.
3. Upon acceptance, the application package shall be reviewed for compliance.
4. The City will schedule the application on the next available Planning and Land Development Regulation Board agenda upon satisfying compliance review. The Planning and Land Development Regulation Board is the level of approval to authorize the issuance of a moderate [Technical Site Plan](#) Development Order. The issuance of the development order does not authorize the disturbance of any part of the subject property involved, but authorizes the filing of an application for a building permit.

C. Tier 3

1. The Applicant shall submit a complete [application package](#) electronically to the City via the on-line portal. A meeting with City Staff is recommended for submittal of the application package.
2. Per [subsection 2.05.04](#) of the [LDC](#), the application package will undergo a completeness review by the City.
3. Upon acceptance, the application package shall be reviewed for compliance.
4. The City shall schedule the application on the next available Planning and Land Development Regulation Board agenda for a recommendation to City Council upon satisfying compliance review.
5. Following the recommendation of the Planning and Land Development Regulation Board, the City will schedule the application on the next available City Council agenda. The City Council is the level of approval to authorize the issuance of a major [Technical Site Plan](#) Development Order. The issuance of the development order does not authorize the disturbance of any part of the subject property involved, but authorizes the filing of an application for a building permit.



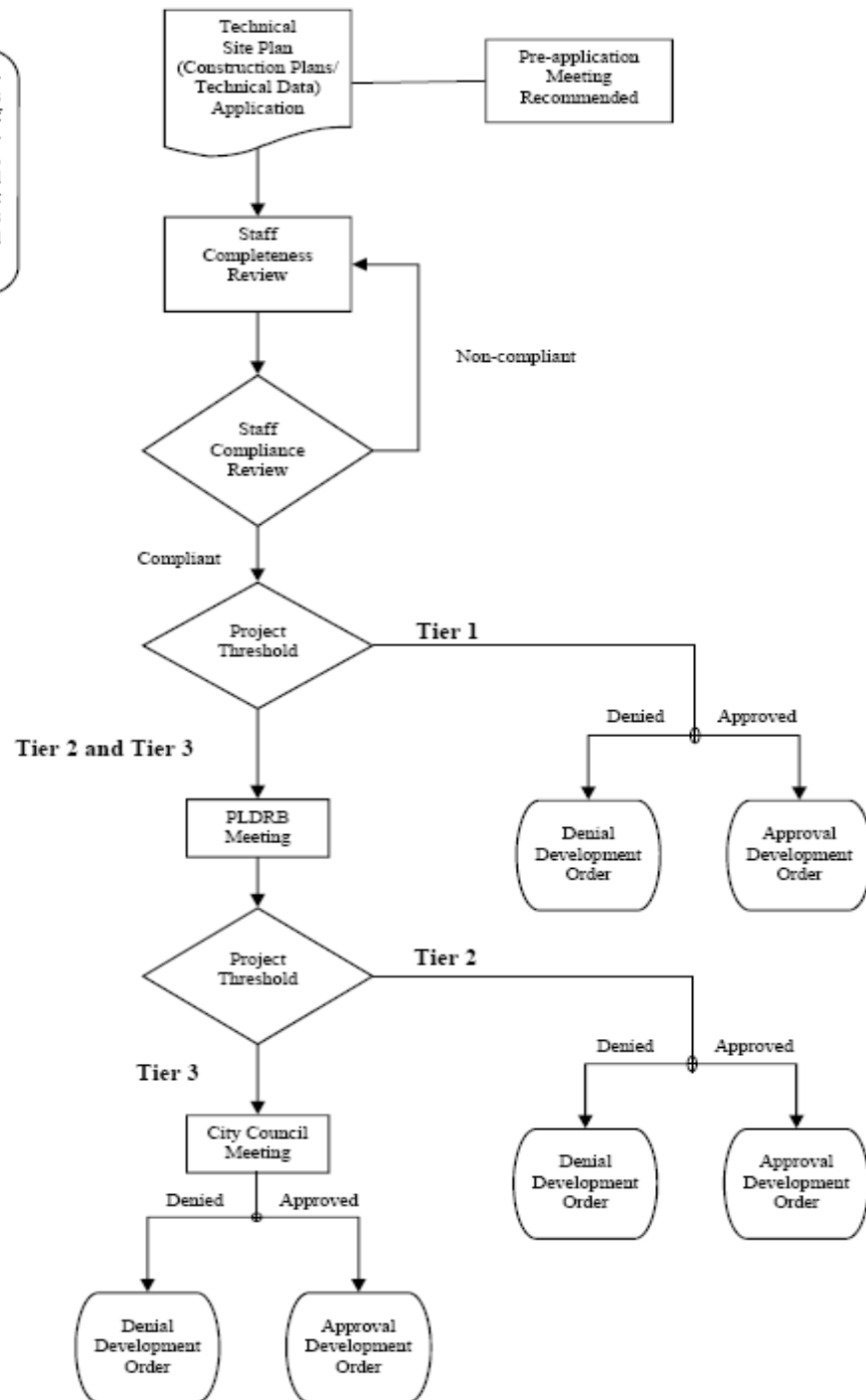
Master Site Plan/Technical Site Plan (Tier 2 and 3 only)



Master Plan process is optional. The Master Plan is intended to provide a review of basic development concepts without significant engineering design, prior to proceeding with technical site plan approval. The applicant can skip the Master Plan process and proceed directly to Technical Site Plan.

Technical Site Plan (Without Master Site Plan)

Master Site Plan process is optional. The Master Site Plan is intended to provide a review of basic development concepts without significant engineering design, prior to proceeding with technical site plan approval. The applicant can skip the Master Plan process and proceed directly to Technical Site Plan.





- GENERAL APPLICATION:**
- | | | |
|--|--|---|
| <input type="checkbox"/> Nonstatutory Land Division/Parcel Reconfiguration | <input type="checkbox"/> Rezoning | <input type="checkbox"/> Special Exception |
| <input type="checkbox"/> Subdivision Master Plan | <input type="checkbox"/> Preliminary Plat | <input type="checkbox"/> Vacating Plat |
| <input type="checkbox"/> Master Site Plan | <input type="checkbox"/> Nonresidential Controlling Master Site Plan | <input type="checkbox"/> Final Plat |
| <input type="checkbox"/> Technical Site Plan | <input type="checkbox"/> Site Plan Addition | <input type="checkbox"/> Development Order Modification |
| <input type="checkbox"/> Variance | <input type="checkbox"/> Parking Flexibility | |
| <input type="checkbox"/> Wireless Communication Facility (new structure) | | |

CD Plus Application #: _____ Application Submittal Date: _____
 Fee Paid: \$ _____ Date of Acceptance: _____
 Employee Name Accepting Application (print name): _____
 Rejected on _____ Rejected by: _____
 Reason for Rejection: _____

A. PROJECT NAME: _____

B. LOCATION OF SUBJECT PROPERTY (PHYSICAL ADDRESS): _____

C. PROPERTY APPRAISER'S PARCEL NUMBER(S): _____

D. LEGAL DESCRIPTION: _____ Subdivision Name; _____ Section; _____ Block; _____ Lot

E. SUBJECT PROPERTY ACRES / SQUARE FOOTAGE: _____

F. FUTURE LAND USE MAP DESIGNATION: _____ **EXISTING ZONING DISTRICT:** _____
OVERLAY DISTRICT: _____

G. FLOOD ZONE: _____ **COMMUNITY PANEL NUMBER:** _____ **DATE:** _____

H. PRESENT USE OF PROPERTY: _____

I. DESCRIPTION OF REQUEST / PROPOSED DEVELOPMENT (MAY ATTACH ADDITIONAL SHEETS): _____

J. PROPOSED NUMBER OF LOTS: _____

K. CHECK APPROPRIATE BOX FOR SITE PLAN:

- Tier 1 (up to 40,000 sq. ft. / 40 units)
 Tier 2 (up to 100,000 sq. ft. / 100 units)
 Tier 3 (exceeding 100,000 sq. ft. / 100 units)

L. LIST BELOW ANY APPLICATIONS CURRENTLY UNDER REVIEW OR RECENTLY APPROVED ASSOCIATED WITH THIS APPLICATION:

M. WATER/SEWER PROVIDER: _____

N. IS THERE AN EXISTING MORTGAGE? Yes No



CITY OF PALM COAST TECHNICAL MANUAL

OWNER:**APPLICANT / AGENT:**

Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:

MORTGAGE HOLDER:**ENGINEER OR PROFESSIONAL:**

Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:

PLANNER:**TRAFFIC ENGINEER:**

Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:

SURVEYOR:**LANDSCAPE ARCHITECT:**

Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:

ATTORNEY:**DEVELOPER OR DOCKMASTER:**

Name:	Name:
Mailing Address:	Mailing Address:
Phone Number:	Phone Number:
E-mail Address:	E-mail Address:

I HEREBY CERTIFY THAT ALL INFORMATION ON THIS APPLICATION IS CORRECT:

Signature of owner OR person authorized to represent this application

Signature(s) _____

Printed or typed name(s): _____

NOTARY: This instrument was acknowledged before me by means of ___ physical presence or ___online notarization, on this _____ day of _____, 20____ by _____ who is/are personally known to me, or who has/have produced _____ as identification. (SEAL)

Signature of Notary Public, State of Florida

General Application (sheet 2 of 2)



TECHNICAL SITE PLAN APPLICATION SUBMITTAL CHECKLIST

Residential

Nonresidential

= Mandatory

= As applicable

= sub items

The following checklist is a tool to facilitate compliance for the submittal package. Place a check in each check box below to indicate that the item has been addressed. As indicated in the above key legend, an item with a red square indicates the item is mandatory. The green square indicates it may or may not be applicable. Use the drop down to indicate if the item is applicable (X) or if the item is not applicable (NA). If applicable, then the item is mandatory.

At a minimum, the documents listed below are required to process a request for a Technical Site Plan. This checklist must be completed by the Applicant and included in the application submittal package in order for the application to be accepted. If a required document is not provided then a statement justifying the action is to be submitted, which will be taken into consideration.

It is recommended to schedule a pre-application meeting by contacting a Land Development Technician at (386) 986- 3736 prior to submittal of the application package. In addition, it is also recommended to contact a Land Development Technician to schedule an appointment for submittal of the application package.

INTAKE **PLC- Planning/Project Manager** **PLENV - Environmental** **PLLA - Landscape** **PLENG-Engineering**
PLSW - Stormwater (Operation) **UD1-Utility** **ARCHR-Architectural** **TRENG - Traffic** **BLD - Building** **FD1 - Fire**

1				Responsibility	Checklist Items	LDC Reference / Florida Building Code (FBC) / Florida Fire Prevention Code (FFPC)
2	<input checked="" type="checkbox"/>				Application Form	
3			<input checked="" type="checkbox"/>	INTAKE	Electronically filed and signed by owner or property owners representative.	
4	<input checked="" type="checkbox"/>				Technical Site Plan Application Submittal Checklist	
5			<input checked="" type="checkbox"/>	INTAKE	Checklist	
6	<input checked="" type="checkbox"/>				Corporate Identity	
7			<input checked="" type="checkbox"/>	INTAKE	Electronically filed by property owner or managing agent as listed in the Division of Corporation.	
8		<input checked="" type="checkbox"/>			Neighborhood Meeting Documents	
9			<input checked="" type="checkbox"/>	PLC	1 Neighbor meeting	Sec. 2.05.02.
10			<input checked="" type="checkbox"/>		a Single-family and multifamily residential developments of forty (40) units or more, unless waived by the Planning Manager.	
11			<input checked="" type="checkbox"/>		b Other projects as deemed necessary by the Planning Manager on a case-by-case basis based upon potential impacts to the City or abutting or proximate property owners.	
12		<input checked="" type="checkbox"/>			School Planning and Concurrency Application	
13			<input checked="" type="checkbox"/>	INTAKE	If residential component proposed, submit School Planning and Concurrency Application School Impact Analysis (see FORMS in Section 8 of the City of Palm Coast Technical Manual).	
14	<input checked="" type="checkbox"/>				Title Opinion	
15			<input checked="" type="checkbox"/>	INTAKE	1 Prepared by an attorney at law licensed to practice in Florida or a certificate by an abstractor or a title company.	
16			<input checked="" type="checkbox"/>	INTAKE	2 Current title (within six (6) months of the date of application submittal).	
17			<input checked="" type="checkbox"/>	INTAKE	3 List of all mortgages not satisfied or released of record or otherwise terminated by law.	
18			<input checked="" type="checkbox"/>	PLC	4 Shows the record title to the land as described and shown on the survey.	NA
19			<input checked="" type="checkbox"/>	PLC	5 List all encumbrances (i.e. easements, etc.) on the subject property.	NA



TECHNICAL SITE PLAN APPLICATION SUBMITTAL CHECKLIST

20					Current Survey	
21			PLC	1	Prepared by a registered land surveyor licensed to practice in the State of Florida.	NA
22			PLC	2	Contains the legal description and total acreage of the subject property.	NA
23			PLC	3	Surveyors certificate of accuracy.	NA
24			PLC	4	Depict all existing on-site or adjacent easements, including drainage, electricity, gas, water, wastewater, or other pipeline or utility easements.	NA
25			PLC	5	Depict all existing on-site improvements, including buildings, structures, drainage facilities, and utilities.	NA
26			PLC	7	Completed with the benefit of a title opinion that states it is current.	NA
27			PLENV	8	All wetlands and conservation easements with upland buffers depicted if applicable.	Sec. 10.01.06
28			PLENV	9	Flood Insurance Rate Map (FIRM) information: community panel number, date, flood zones(s) and Base Flood Elevation data in NAVD 88'. Flood boundary shall be depicted.	Sec. 10.02.07
29			PLLA	10	All protected trees per LDC 11.02.	Sec. 11.02.01; 11.02..02
30					Construction Plan/Site (not less than 1"=40')	
31			PLENG	1	Plans signed and sealed by the professional engineer that prepared the plans.	Sec. 9.01.04.A
32			PLC	2	Cover sheet to include:	NA
33			PLC	a	Title of project	NA
34			PLC	b	Name, address, phone #, and e-mail address of the owner, engineer, landscape architect, surveyor, architect, environmentalist and developer (as applicable)	NA
35			PLC	c	Site location map inset with a north arrow indicator and sufficient information to locate the property in the field. Street names within the area are to also be included on the map.	NA
36			PLC	3	Site Data analysis with the following information:	NA
37			PLC	a	Site size (in square feet and/or acreage)	Table 3-3 (Res.) or Table 3-5 (Non-Res.)
38			PLC	b	Zoning of property	NA
39			PLC	c	FLUM of property	NA
40			PLC	d	Intended uses and total square footage for buildings for each use	NA
41			PLC	e	Total building(s) square footage-Gross Floor Area- (measure from outside walls); include square footage of any space with a roof (e.g. covered entry, open porch, portico, etc.)	NA
42			PLC	f	Total building footprint as percentage of site and area (via sq. ft. or acreage)	NA
43			PLC	g	Vehicular Use Area (VUA) percentage and area	Sec. 11.03.04.B.
44			PLC	h	Sidewalk(s) percentage of site and area	NA
45			PLC	i	Impervious Surface Ratio (ISR) and area	Table 3-3 (Res.) or Table 3-5 (Non-Res.)/Sec. 3.05.03.B.
46			PLC	j	Floor Area Ratio (FAR) and area (only for non-residential)	Table 3-5
47			PLC	k	Pervious Ratio and area	Table 3-3 (Res.) or Table 3-5 (Non-Res.)
48			PLC	l	Parking calculations to include # required, existing, proposed vehicle spaces and bicycle rack spaces. Also include required/provided ADA accessible spaces. (Parking Flexibility Study if applicable)	Table 5-3, Sec. 5.04, Bikes Sec. 5.04.03
49			PLC	m	Total # of residential units (density calculation per LDC) and breakdown of multi-family units by bedroom and living area.	Table 3-3 and Sec. 3.05.03.A.
50			PLC	n	Garage units for multifamily projects shall be provided for a minimum of one-third of the proposed multifamily units	Sec. 4.01.03.A.3
51			PLC	o	Building Height	
52			PLC	4	Project name and north arrow indicator and scale provided on each sheet of plans.	NA
53			PLENV	5	Flood Zone information (FIRM) Panel information on cover sheet and delineate the extent of flood zone boundaries with reference to base flood elevation(s) if applicable on plans.	Sec. 10.02.07
54			PLC	6	A space measuring at least 4" in width by 3" in height shall be provided in the upper right corner at the top of each sheet of plans to be reserved for the City's approval stamp.	NA
55			PLC/All	7	Easements including locations, dimensions, and types (show both existing and proposed).	Sec. 9.02.03., 11.03.05.C.1; 11.03.05.C.3; 11.03.05.C.6
56			PLC	8	All existing and proposed structures depicting dimensions and locations.	Table 3-3 (Res.) or Table 3-5 (Non-Res.)
57			PLC	9	Setbacks from the property lines to all structures unless setbacks are obviously met.	Table 3-3 (Res.) or Table 3-5 (Non-Res.)



TECHNICAL SITE PLAN APPLICATION SUBMITTAL CHECKLIST

58		PLC	10	Pad location, size, and setbacks for all dumpsters and recyclable containers (including details of enclosure).	Sec. 4.01
59		PLC	11	Zoning of all adjacent properties and properties across rights-of-ways with the name of the rights-of-way(s) included.	NA
60		PLENV	12	Wetlands and associate upland buffer(s), water courses, waterbodies, and other natural resources to be located on the site. Also, other natural resources lying within, adjacent to, affecting, or potentially impacted by the site.	Sec. 10.01.06
61			13	Notes with line items to included on site plan:	
62		PLENG	a	All utilities shall be located underground.	Sec. 9.01.03.A.1
63		PLENG	b	Contractor to attend a mandatory preconstruction meeting with City staff prior to any disturbance of the property.	Sec. 9.03.02.C
64		PLENV	c	Conservation easements with upland buffers delineated if applicable with the recording information (O.R. Book and Page #), if applicable.	Sec. 10.01.06
65		PLC/PLENG	d	Any other pertinent information that should be noted.	NA
66		PLENG/BLD (for ADA only)	14	Parking detail for each parking stall scenario (i.e. parallel space, angled parking, etc.), including accessible spaces, ADA requirements.	Table 5-4; Florida Building Code-Accessibility (FBCA) Section 208 and Table 208.2.
67		PLC	15	Location of bike racks and detail specifications.	Sec. 5.04.03
68		PLC/PLENG	16	Show stacking lanes on plans including any menu boards and pickup windows, including queuing dimensions. Stacking analysis required if staff sees any potential issues.	Sec. 5.04.11.2., Sec. 5.04.11.1
69		PLC/PLENG	17	Show loading zones and along with dimensions.	Sec. 5.04.07 & Tables 5-6 and 5-7
70		PLENG/FD1	18	Auto Turn Diagram	FFPC 18.2.3.4.3
71		All	19	If phasing proposed, include construction phasing lines and note that the development order will be for the proposed phase only.	Sec. 9.01.04.K
72		PLENG/PLLA	20	Sight triangles.	Sec. 5.02.06., 11.03.01.L; TABLE 11-3
73		PLC/PLLA	21	Location of all mechanical equipment and utility boxes. Ground-mounted mechanical equipment shall be located within 20' of the principal structure, except transformers. Mechanical equipment includes, but is not limited to, air conditioning units, pool pumps, generators, and gas tanks.	Sec. 11.03.01.H
74		PLC/PLLA/PLENG	22	Location of all outdoor storage areas, loading and unloading areas, truck parking (this includes fleet storage). And depict all service support equipment (i.e. ice machines and dispensers, outdoor vending machines, and propane tanks and refilling areas, etc.) and label each.	Fleet Sec. 5.04.09, Loading Sec. 5.04.07, Outdoor Storage Sec. 4.17.02, Outdoor Display Sec. 4.17.03, Landscape Sec. 11.03.01.H
75		PLC	23	Show the minimum height of vehicular overhead obstructions shall not be less than 13'6".	FFPC 18.2.3.4.1.2
76		PLC/PLENG	24	Must provide 2 ingress and egress locations for single-family and multi-family residential developments of 51 units or greater.	Sec. 5.02.04.B.
77		PLC/PLENG	a	Primary, secondary and emergency access roads including site access locations, minimum access clearance widths and heights, lane widths for multi-lane / two-way roads, turning radius (including turning radius of any turn-arounds), lengths of dead-ends listed; gates and other controlled access points with width clearance dimensions. All fire department access roads shall be designed for a minimum 75,000 lb. apparatus / equipment weight.	Sec. 5.02, FFPC 18.2.3.3
78		PLENV	25	Depict location of any PUBLIC SUPPLY well sites and show 500' radius setback.	Sec. 10.03.02
79		PLC/PLENG	26	Depict internal and external walkways/sidewalks, connections, width and provide specifications. (Sidewalk fund if applicable)	Sec. 5.03.02
80		PLENG/BLD (for ADA only)	27	ADA compliance regarding width, slope, railings, truncated domes, and other ADA warning devices	FBC-A 402 - 406
81		PLLA	28	Show width and type of Landscape Buffers.	Sec. 11.03.05
82		PLLA	29	Dimensioned radii of all retention and detention ponds.	Sec. 11.03.01.G
83		PLENG	30	Internal Vehicular Circulation	Sec. 5.04.02.D
84		PLENG	31	Internal Signage and Striping	Sec. 9.01.03.B
85		PLC	32	Interconnectivity between project including access agreement	Sec. 5.02.04



TECHNICAL SITE PLAN APPLICATION SUBMITTAL CHECKLIST

Grading, Drainage and Erosion Control Plan (not less than 1"=40')			
86			
87		PLENG	1 Base information as outlined above under "Site Plan" NA
88		PLENG	2 Provide predevelopment drainage plan NA
89		PLENG	3 Grading and Drainage Plan
90		PLENG	a Show existing and proposed contours at one foot (min) intervals with spot elevations as needed for clarity and to adequately depict drainage patterns (NAVD 1988 DATUM) Sec. 9.01.04.C
91		PLENG/PLENV	b Details and sections for all grade changes. Per Section 10.02.07.A.5 - .7, location, extent, amount, and proposed final grades of any filling, grading, or excavation. Where the placement of fill is proposed, the amount, type, and source of fill material; compaction specifications; a description of the intended purpose of the fill areas; and evidence that the proposed fill areas are the minimum necessary to achieve the intended purpose Existing and proposed alignment of any proposed alteration of a watercourse. Sec. 10.02.07.A.5 - .7
92		PLENG/BLDG	c Grading to include lowest floor / top of foundation / finished slab elevations for all buildings and structures. Slopes / grades perpendicular to all sides of all buildings for a minimum distance of ten (10) feet from foundations with slopes expressed in percentages. Minimum slopes of 2% for impervious surfaces and 5% (6 inches fall within the first 10 feet); finished ground surface elevations adjacent to all corners of buildings and various intervals (approximately every ten feet) along buildings indicating minimum ground-earth separation of four (4), six (6) or eight (8) inches depending on construction materials and finishes used in exterior wall construction. Include details of surface improvements required to facilitate drainage away / perpendicular from foundations where 5% slope in the first ten feet cannot be provided. Florida Building Code-Building (FBCB) Section 1804.4
93		PLENG	4 Contour and spot elevations along roadways at a minimum 100-ft. intervals indicating centerline, edge of pavement, shoulder, swales, ditches, and roadway right-of-way Sec. 9.01.04.C
94		PLENG	5 Roadway profiles showing utility and drainage improvements
95		PLENG	6 Demolition and/or relocation plan for existing items
96		PLENG	7 Details of construction and connection to adjacent roads serving project
97		PLENG/PLSW	8 Stormwater Management System (PLSW review if required by PLENG):
98		PLENG/PLSW	a Section views of all proposed retention/detention ponds, swales, berms, etc. indicating top of bank, bottom, normal water level, 5-year, 25-year and 100-yr stormwater elevations. Sec. 9.01.04.E
99		PLENG/PLSW	b (b) Side slopes with vegetation requirements or other erosion control measures called out Sec. 9.04.03.C.9
100		PLENG/PLSW	c Construction details for all proposed manholes, inlets, and other stormwater control structures Sec. 9.01.04.F
101		PLENG/PLSW	d Location, size, length, and elevations of all proposed piping systems and related structures Sec. 9.01.04.G
102		PLENG/PLSW	e Stormwater Analysis with pipe calculations Sec. 9.04.03.C.7
103		PLENG/PLSW	f Geotechnical report signed and sealed by a professional engineer Sec. 9.04.03.D
104		PLENG	9 Erosion and Sediment Control Plan: Sec. 9.04.06.
105		PLENG	a Location and details for all BMPs Sec. 9.04.06.B
106		PLENG	b Temporary and permanent vegetation requirements Sec. 9.04.06.D
107		PLENG	c Include a Stormwater Pollution Prevention Plan (SWPPP) Sec. 9.04.07
108		PLENG/PLSW/UD1	10 Copies of permits from all regulatory agencies having jurisdiction (prior to commencement of construction) Sec. 9.01.04.J
109		PLLA	11 Tree Protection Fencing Sec. 11.02.04.C
110		PLLA	12 Please Note: Existing trees shown to remain should have no alteration of grade made within their Tree Protection Zone. If grading as shown proposes to alter grade within this TPZ then field adjustments will need to be made to avoid this. This may require the use of retaining walls. Sec. 11.02.04.C



TECHNICAL SITE PLAN APPLICATION SUBMITTAL CHECKLIST

111					Utility Plans (not less than 1"=40')	Sec. 9.07., LDC Technical Manual Section 6
112			UD1	1	Review potable, sewer, reclaim systems. Include dimension of backflow pad. Show scale.	Sec. 9.07.02.B
113			UD1	2	Review plats for easements and possible parcels for pump stations.	Sec. 9.02.03
114			UD1	3	Provide adequate size piping to provide required fire flow.	Sec. 9.07.03.C.1
115			UD1	4	Minimum 6" pipe or larger, as required.	Sec. 9.07.03.C.1
116			UD1	5	Pump Station Calculation	Sec. 9.07.04.D
117			UD1	6	Water and Sewer:	
118			UD1	a	Pipe data including size, lengths, and material	Sec. 9.07.02.B
119			UD1	b	All conflicts with other utility and drainage systems	Sec. 9.07.02.B
120			UD1	c	All manhole locations, invert and rim elevations	Sec. 9.07.02.B
121			UD1	d	Size, type, and location of fittings, valves, hydrants, air release/vacuum relief valves	Sec. 9.07.02.B
122			UD1	e	Pipe restraint requirements and method of restraint	Sec. 9.07.02.B
123			UD1	f	Details of connections to existing system	Sec. 9.07.02.B
124			UD1	g	Location and construction details for wastewater pumping stations including size and type of pumps	Sec. 9.07.04.D
125			UD1	h	All utility related accesses and easements	Sec. 9.02.03
126			UD1	i	Construction notes regarding cover, horizontal and vertical control, special construction requirements and related details	Sec. 9.07.02.B
127			UD1	7	Location of existing and proposed potable and irrigation wells	
128			UD1	8	Utility Agreement	
129					Landscape Plans (not less than 1"=40')	
130			PLLA	1	Designed, signed, and sealed (on final set) by a registered Florida landscape architect.	Sec. 11.03.01.I
131			PLLA	2	A tree survey showing all protected trees per LDC section 11.02.	Sec. 11.02.01; 11.02..02
132			PLLA	3	All easements shown on plans.	Sec. 11.03.05.C.1; 11.03.05.C.3; 11.03.05.C.6
133			PLLA	4	All landscape buffer lines shown on plans . Label type and dimension. Verify all plantings per Tables 11-5 and 11-6 of LDC Chapter 11.	Sec. 11.03.05
134			PLLA	5	Tree removal plan if needed, that shows landscape buffer lines on plan and tree protection barricades around any trees to remain that are within the silt fence. Provide mitigation calculations on standard mitigation form from the Landscape Technical Manual. Provide specimen/historic preservation calculations per table 11-1.	Sec. 11.02
135			PLLA	6	Tree Density calculations shown on plans. 1 tree/ 2500 sf of property area, excluding ponds, lakes and canals.	Sec. 11.03.01.A
136			PLLA	7	If re-use water is not being used, verify 50% of pervious area is being landscaped with drought tolerant or native plants and grasses. Show calculations on plan.	Sec. 11.03.01.D
137			PLLA	8	Verify that any signage has plantings around the entire perimeter.	Sec. 11.03.01.F
138			PLLA	9	Littoral zone plantings around all stormwater detention ponds or littoral zone alternative	Sec. 11.03.01.G
139			PLLA	10	All HVAC equipment, utility structures, and backflow preventers screened from public view.	Sec. 11.03.01.H
140			PLLA	a	Screening planting hedges need to be a minimum of 30" tall at time of planting and continuous.	TABLE 11-4
141			PLLA	11	Provide street tree plantings 50' O.C. in any common areas where new streets or shared private access roads have been created.	Sec. 11.03.01.J
142			PLLA	12	Overhead power lines shown on plans and shade trees planted at a minimum of 15' away.	Sec. 11.03.01.K
143			PLLA	13	All site lighting poles shown on plans and shade trees planted at a minimum distance of 15' away.	Sec. 11.03.04.B.3.a
144			PLLA	14	All utilities shown as a greyed out layer on plans and shade trees planted at a minimum of 10' away.	Sec. 11.03.01.K
145			PLLA	a	Fire hydrants shown on plan with trees and shrubs at proper clearance.	
146			PLLA	15	Show site triangles on plans per Table 11-3 of LDC Chapter 11. Shrubs higher than 2' or trees with branches lower than 7' not to be planted in sight triangles.	11.03.01.L; TABLE 11-3
147			PLLA	16	Verify that foundational plantings are provided per LDC 11.03.02.	11.03.02
148			PLLA	17	Wildfire hazard assessment as needed.	11.03.02.A.2; 11.03.02.B.2; 11.03.02.C.3
149			PLLA	18	Requirement for all trees and plants to be a Florida Number 1 or better quality.	11.03.03.A
150			PLLA	19	Size, quantity, and variety of all trees and plants and shrubs / ground covers with spacing.	11.03.03.A
151			PLLA	a	Shade trees are a minimum of 3 1/2" caliper.	TABLE 11-4
152			PLLA	b	Understory trees are a minimum of 1 1/2" caliper and 30 gallon container.	TABLE 11-4
153			PLLA	c	Vehicle Use Area island understory trees are a minimum height of 12-14'.	TABLE 11-4



TECHNICAL SITE PLAN APPLICATION SUBMITTAL CHECKLIST

154		PLLA	20	Type of sod to be used (Bahia required for non-irrigated areas).	Sec. 11.03.03.B
155		PLLA	21	All disturbed areas of the right-of-way to be sodded with Bahia sod.	Sec. 9.06.01.A.7.c; 11.03.03.B
156		PLLA	22	Mulch material needs to be specified with depth between 2-4" deep.	Sec. 11.03.07.A
157		PLLA	23	Clearing limits on the plan and description of sod or mulch limits.	Sec. 11.03.03.B
158		PLLA	24	Provide short screening plantings of parking areas visible from right-of-way and adjoining properties where not already provided by buffer screening plantings. 2' setback if 18' parking stalls.	Sec. 11.03.04.A
159		PLLA	25	Provide VUA calculations on plans and verify all plantings are meeting requirements spelled out in LDC 11.03.04.B.	Sec. 11.03.04.B
160		PLLA	a	Internal parking lot landscaping need to be a minimum of 10% of VUA area excluding areas beneath vehicular canopies.	Sec. 11.03.04.B
161		PLLA	b	VUA landscape islands shall have at least (1) tree credit for every 165 sf of required internal parking lot landscaping area. (Shade Trees = 2 credits, Palm Trees = 1.5 credits, Understory Trees = 1 credit)	Sec. 11.03.04.B.1.a; 11.03.04.B.3.d
162		PLLA	c	Show in tabulation form all VUA islands used for credit by number with location map.	
163		PLLA	d	VUA landscape islands shall be a minimum of 150 sf. pervious area. If planted with a shade tree then a minimum of 300 sf (unless using alternate planting requirements for parking lot islands per LDC 11.03.04.B.4) and 9' wide OR 450 sf with shade tree and light pole. Terminal islands must be a minimum of 5' wide.	Sec. 11.03.04.B.1.a; 11.03.04.B.1.b; 11.03.04.B.2.c; 11.03.04.B.3.a
164		PLLA	e	Detail sheet that includes tree staking details and if any trees are to be retained include CoPC Standard Tree Protection Zone Detail, CoPC Root Pruning Detail and CoPC Tree Protection Fencing Detail.	Sec. 11.02.04.C; 11.03.07
165		PLLA	f	All VUA parking lot islands curbed to protect the shrubs and trees from vehicular damage.	Sec. 11.03.04.B.3.b
166		PLLA	g	VUA islands placement allowing runs of no more than 10 spaces without an island unless allowed optional designs meeting requirements of Section 11.03.04.B.2 are met.	Sec. 11.03.04.B.2.a
167		PLLA	26	Note on plans that as-built landscape plans are required from the project's landscape architect.	Sec. 11.03.09.B.2
168		PLENV	27	Delineate the extent of wetlands and associated upland buffers	Sec. 10.01.06
169		PLLA	28	Show location of irrigation source	
170				Irrigation Plan (not less than 1"=40')	
171		PLLA	1	Required on 2 nd submittal due to likely changes on plan for 1 st submittal, but Development Order will not be issued without a complete plan.	
172		PLLA	2	Minimize runoff or spraying of irrigation water onto impervious areas and adjacent properties.	Sec. 11.03.06.B.1
173		PLLA	3	Irrigation design to locate plants into water use zones having the same irrigation needs and provide head to head coverage within each individual zone..	Sec. 11.03.06.B.1
174		PLLA	4	Water source shall be provided from the lowest quality water source available and feasible for the site. Order of water source from lowest to highest quality is the following: 1. Reclaimed water 2. Stormwater, lake or canal 3. Groundwater (well) 4. Potable water	Sec. 11.03.06.B.2
175		PLLA	5	Temporary irrigation systems should include an irrigation schedule and use super absorbents in planting backfill, as well as native or xeric plants and trees. Specifications shall be included to provide one of the following: 1. Automatic irrigation 2. Hand watering via hose bib or other water source 3. Water truck hand watering 4. Automated water bags	Sec. 11.03.06.B.3
176		PLLA	6	Bubblers, drip lines, side strip nozzles for hedges are recommended for water conservation.	Sec. 11.03.06.B.1
177		PLLA	7	Mainlines and lateral lines shown on plans.	Sec. 11.03.06.B.4
178		PLLA	8	Backflow preventers provided on all metered water connections.	Sec. 11.03.06.B.5
179		PLLA	9	Permitted wells shall have a serviceable double-check valve.	Sec. 11.03.06.B.5
180		PLLA	10	Irrigation to be installed with a moisture sensing device or smart irrigation system.	Sec. 11.03.06.B.6
181		PLLA	11	If re-use water is being used add note to plans that states all heads, pipes, valve box covers and bubblers to be coded in purple. Include City's standard re-use water signage detail on plans and indicate their locations on plan.	BUILDING CODE
182		PLLA	12	Note on plans that as-built irrigation plans (signed and sealed) required from the project landscape architect.	Sec. 11.03.09.B.2



TECHNICAL SITE PLAN APPLICATION SUBMITTAL CHECKLIST

183					Lighting Plan (not less than 1"=40')	Sec. 9.08.05.
184			PLENG	1	Photometric Plan	Sec. 9.08.05.A
185			PLENG	2	The Lighting Plan should contain the following notes:	
186			PLENG	a	No lights allowed 90 degrees above horizontal plane, except accent lighting.	
187			PLENG	b	Light shielding requirements shall protect from glare, light spillage to pedestrians, aircraft and cars.	
188			PLENG	c	Mercury Vapor shall not be allowed.	
189			PLENG	d	Lighting Plan meet the requirements of Section 14 of IESNA RP-20-98 lighting 1998 or current edition.	
190			PLENG	3	Pole location and height(s)	Sec. 9.08.05.D
191			PLENG/ARCHR	4	Light head product cut sheet to include lighting equipment specifications indicating compliance with the Florida Building Code-Energy Conservation	Sec. 9.08.05.D
192			PLENG	5	Pole base detail - direct bury, etc.	Sec. 9.08.05.D
193			BLD	6	Conduit Size(Electrical Information to be provided with building permit)	
194					Architectural Plans	
195			ARCHR	1	Building elevations depicting:	
196			ARCHR	a	Name, address, phone number, and e-mail address of architect.	
197			ARCHR	b	Illustrate all building elevations and label the illustration as to which direction (north, south, east, or west) the building elevation is oriented.	
198			ARCHR	c	Illustrate height and linear width of all building(s).	
199			ARCHR	d	Label all types of materials proposed for building.	Sec. 13.02.06
200			ARCHR	e	Label roof type and material and note roof pitch, as applicable.	Sec. 13.02.06.D; 13.04.03
201			ARCHR	f	Label proposed colors of all portions of the building(s) and provide Light Reflectance Value.	Sec. 13.02.06
202			ARCHR	g	Note glass type and percentage of light reflectance rating for reflective glass and light transmittance rating for darkly tinted glass windows. All plans submitted to the City shall include the glass manufacturer's visible light reflectance, visible light transmittance ratings, and Low-E glass specifications for evaluation.	Sec. 13.04.02.C
203			ARCHR	h	All elements of articulation are to be noted on the plan as well as their color and dimensions.	Sec. 13.04.02
204			ARCHR	i	Provide massing techniques, articulation techniques, and fenestration per LDC 13.04.02 and entrance articulation per LDC 13.04.04.	Sec. 13.04.02
205			ARCHR	j	All awnings shall be depicted as well as dimensions and specifications for the awnings.	Sec. 13.04.05
206			ARCHR	k	Light fixtures are to be illustrated for the exterior of the building(s) and shall be architecturally compatible with the style, materials, colors, and details of the building.	Sec. 13.04.06
207			ARCHR	l	Mechanical equipment should be depicted on elevations. When visible from the public right-of-way, mechanical equipment shall be screened by walls, fencing, roofing elements, or landscaping. Screening shall be extended at least one foot above the equipment being screened. Ground-mounted equipment (except transformers) shall be within 20' of principal structure.	Sec. 13.04.07.A
208			ARCHR	m	Areas for outdoor storage, trash collection and loading shall be incorporated into the primary building design.	Sec. 13.04.07.B
209			ARCHR	2	Dumpster / Recyclable enclosure specifications to include type, height, material and finishes.	Sec. 13.04.07.B
210			ARCHR	3	Walls and/or fences to be depicted and specifications to include type, height, material and finishes.	
211					Signage	
212			PLC	1	Freestanding sign location, height and setbacks from property lines.	Sec. 12.04.07.A. & Sec. 12.05.02.B.
213			PLC	2	Directory sign location, height and setbacks from property lines.	Sec. 12.05.02.D.
214			PLC	3	Directional Sign location and height.	Sec. 12.05.02.F.
215			PLC	4	Menu boards square footage for each.	Sec. 12.05.02.H.
216			PLC	5	Wall Sign location, square footage color and material.	Sec. 12.04.07.B. & Sec. 12.05.02.C.
217			PLC	6	Wall Sign type (channel letter, framed signs, projecting signs, font, style, etc.)	Sec. 12.04.07.B. & Sec. 12.05.02.C.
218			PLC	7	Location of menu boards, speakers apparatus and clearance bar.	Sec. 12.05.02.H



TECHNICAL SITE PLAN APPLICATION SUBMITTAL CHECKLIST

219					Recreation (Residential Site Plans of 25 or more units only)	
220			PLC	1	Required recreation facilities, active and passive, per Land Development Code and the Recreation and Open Space Element of the City's Comprehensive Plan.	Sec. 3.05.04
221					Stormwater Calculation Report	
222			PLENG	1	Signed and Sealed	Sec. 9.01.04.A
223					Master Stormwater System "letter of authorization"	
224			PLENG	1	Required from the owner of the system. St. John's modification letter requested.	
225					St. Johns River Water Management District permit (SJRWMD) permit	
226			PLENG/PLSW	1	Permit (if permit not issued, provide applications)	Sec. 9.01.04.J
227					Environmental Assessment Report	
228			PLEVN	1	Wetland Quality Assessment Methodology (WQAM)	Sec. 10.01.05
229			PLEVN	2	Endangered and threatened species and species of special concern (listed species shall be mandatory at application submittal and be done by a QEP)	Sec. 10.01.03, 10.04.03
230					Cultural Resource Report	
231			PLEVN	1	SHIPPO Letter	Sec. 10.05.02
232					Traffic	
233				1	Report/Statement	
234			TRENG	a	Trip generation numbers when generating up to 24 peak hour two-way trips.	
235			TRENG	b	Statement required when generating 25 to 99 peak hour two-way trips. Per TPO Guidelines.	
236			TRENG	c	TIA required when generating 100 or more peak hour two-way trips. Per TPO Guidelines.	
237			TRENG	2	Access driveway(s) spacing	
238			TRENG	3	Turn Lane Analyses/Requirements	
239			TRENG/PLC	4	Concurrency/Prop share agreements	
240					Building Services (includes electrical and fire code review)	
241			BLD	1	Location of existing and proposed fire hydrants both on-site and those off-site that are used to determine minimum fire-flow calculations	FFPC 18.5.1-18.5.4
242			BLD	2	Fire-flow calculations based on area and proposed construction type for all buildings and structures	FFPC T18.4.5.2.1
243			BLD	3	Location of Fire Department Connection (FDC)	FFPC 13.1.4.1
244			BLD	4	Dimensioned distances from the closest fire department access to each building measured along exterior walls of each building indicating no point of exterior wall is more than 150 feet from fire department access for buildings not provided with a fire sprinkler system throughout and no point of exterior wall is more than 450 feet from fire department access for buildings provided with a fire sprinkler system throughout.	FFPC 18.2.3.2.2
245			FD1	5	Gated communities shall require installation of a KNOX key override switch(s) for emergency vehicle access.	FFPC 18.2.2.1
246			FD1	6	Communities with secondary emergency vehicle access gate(s) shall require a KNOX padlock for access.	FFPC 18.2.2.2

Property Owner Letter of Authorization

*****IF APPLICANT IS NOT THE PROPERTY OWNER*****

Dear Planning Manager,

I/We, _____ being the
(All property owners)

current property owner(s) of the property legally described as

Parcel # _____ and also described as

Subdivision _____ Section _____, Block _____, Lot _____.

Street address _____

Do hereby designate and authorize _____
(name of authorized agent)

representing _____
(All property owners)

To sign on my/our behalf, as my/our agent to submit an application for a

(type of application)

Or execute a Development Order for the property described above.

Signature of property owner

Signature of property owner

Print Name

Print Name

NOTARY: This instrument was acknowledged before me on this by means of physical presence

or online notarization _____ day of _____, 20____ by

_____ who is/are personally known to me, or who

has/have produced _____ as identification.

(SEAL)

Signature of Notary Public, State of Florida

AFFIDAVIT OF CORPORATE IDENTITY/AUTHORITY

STATE OF _____

COUNTY OF _____

COMES NOW, _____, being first duly sworn, who deposes and says:

(1) That he/she is the _____, an officer of _____ corporation existing under the laws of the State of _____.

(2) That he/she is authorized to execute the following deeds or instruments on behalf of the above named corporation: _____ relating to the following described real property:

(3) That this affidavit is made to induce the City of Palm Coast to accept the above described property.

Signature of owner OR person authorized to represent this application

Signature

Signature

Print

Print

NOTARY: This instrument was acknowledged before me on this by means of physical presence or online notarization _____ day of _____, 20____ by _____ who is/are personally known to me, or who has/have produced _____ as identification.

(SEAL)

Signature of Notary Public, State of Florida



CITY OF PALM COAST TECHNICAL MANUAL

JOINDER AND CONSENT AFFIDAVIT

COME NOW, _____ Joins and Consents to the covenants and conditions set forth herein and hereunto sets his hand and seal this ____ day of _____, 20__ for the property legally described as Lot(s) ____ of Block ____, of Section ____, Map ____ of pages ____ of the Public Records of Flagler County, Florida. Parcel ID No's _____

ATTEST:

Name of Lending Institution /Mortgage Holder

Corporate Secretary

Corporate President

Printed Name

Printed Name

ACKNOWLEDGEMENT

The foregoing instrument was acknowledged before me by means of ___ physical presence or ___ online notarization, this _____ day of _____, 20__, by _____ the _____ of _____, is are personally known to me or who has produced _____ as identification and who did execute said instrument for the purpose therein expressed.

Notary Public (SEAL)

Notary Public Signature



SCHOOL PLANNING AND CONCURRENCY APPLICATION / SCHOOL IMPACT ANALYSIS FLAGLER COUNTY PUBLIC SCHOOLS, FACILITIES PLANNING DEPARTMENT 1769 EAST MOODY BLVD - BUILDING # 2 BUNNELL, FLORIDA 32110

Instructions: Please submit two copies of completed application, location map and fee for each new residential project to the appropriate local government.

I. Application Type

Check one only:

- School Capacity Determination (Land Use & Zoning)
 Letter of No Impact
 Letter of Exemption
 Time Extension
 Project Amendment / Re-evaluation
 Non Binding Determination

School Capacity Availability Letter of Determination (Site Plan & Subdivision) See attached Fee Schedule. Make check payable to your local Government. In the event that a Mitigation Agreement is necessary, an additional fee may be required.

II: Project Information:

Project Name: _____ Local Government: _____
 Parcel ID#: _____ (attach separate sheet for multiple parcels):
 Location/Address of Subject property: _____ (attach location map)
 Closest Major Intersection: _____

III: Ownership/Agent Information:

Owner/Contract Purchaser Name(s): _____
 Agent/Contact Person: _____
 Mailing address: _____
 Telephone #: _____ Fax #: _____ E-mail: _____

IV: Development Information:

Project Data			
Current		Proposed	
Future Land Use:		Future Land Use:	
Zoning:		Zoning:	
Residential Units Proposed			
Single Family Detached:	Single Family Attached:	Apartments:	Mobile Homes:
Total Units:	Total Acres:	Phased Project: Yes <input type="checkbox"/> No <input type="checkbox"/>	



SCHOOL PLANNING AND CONCURRENCY APPLICATION / SCHOOL IMPACT ANALYSIS FLAGLER COUNTY PUBLIC SCHOOLS, FACILITIES PLANNING DEPARTMENT

Applicant shall provide the information above to the Flagler County School District to calculate student generation, evaluate school capacity and address any potential mitigation. The applicant is responsible for obtaining any additional information required to complete the review process. For further information regarding this application process, please contact the local government with jurisdiction.

I hereby certify the statements and/or information contained in this application with any attachments submitted herewith are true and correct to the best of my knowledge.

Disclaimers:

By my signature hereto, I do hereby certify that the information contained in the application is true and correct to the best of my knowledge and understand that deliberate misrepresentation of such information may be grounds for denial or reversal of this application and/or revocation of any approval based upon this application.

I further acknowledge that the School Board of Flagler County may not defend any challenge to my proposed application and that it may be my sole obligation to defend any and all action and approvals of this application. Submission of this application initiates a process and does not imply approval by the School Board of Flagler County and any of its staff.

I further acknowledge that I have read the information contained in this application and have had sufficient opportunity to inquire with regard to matters set forth therein and accordingly, fully understand all applicable procedures and matters relating to this application. I hereby represent that I have the lawful right and authority to file this application.

Signature: _____

Owner: Agent: _____

Date: _____

If applicant is not the owner of record, a letter of authorization from the property owner(s) must be included with this form at the time of application submittal. If owner is a company/corporation, please submit documentation that signatory is registered agent of the company.

Official Use Only	
Application Received	
Date:	Time:
By:	



**SCHOOL PLANNING AND CONCURRENCY APPLICATION / SCHOOL IMPACT
ANALYSIS FLAGLER COUNTY PUBLIC SCHOOLS, FACILITIES PLANNING DEPARTMENT**

**FLAGLER COUNTY PUBLIC SCHOOLS
PLANNING SERVICES FEE SCHEDULE**

School Capacity Availability Reports/Letters

School Capacity Determination
Nonbinding Review – FLU/Rezone) \$200.00

School Capacity Availability Letter of Determination (SCALD)
(Issued Prior to Final Plat/Site Plan or equivalent approval)

3-10 Units \$150.00
11-49 Units \$300.00
50+ Units \$500.00

Letter of No Impact \$100.00

Letter of Exemption \$100.00

Time Extension \$100.00

Concurrency Determination Re-evaluation \$150.00

Proportionate Share Mitigation

3-10 Units \$500.00
11-49 Units \$1,000.00
50+ Units \$2,500.00

Appeals

Application Fee \$1,000.00

Make check payable.....to City of Palm Coast, Flagler County or City of Bunnell.